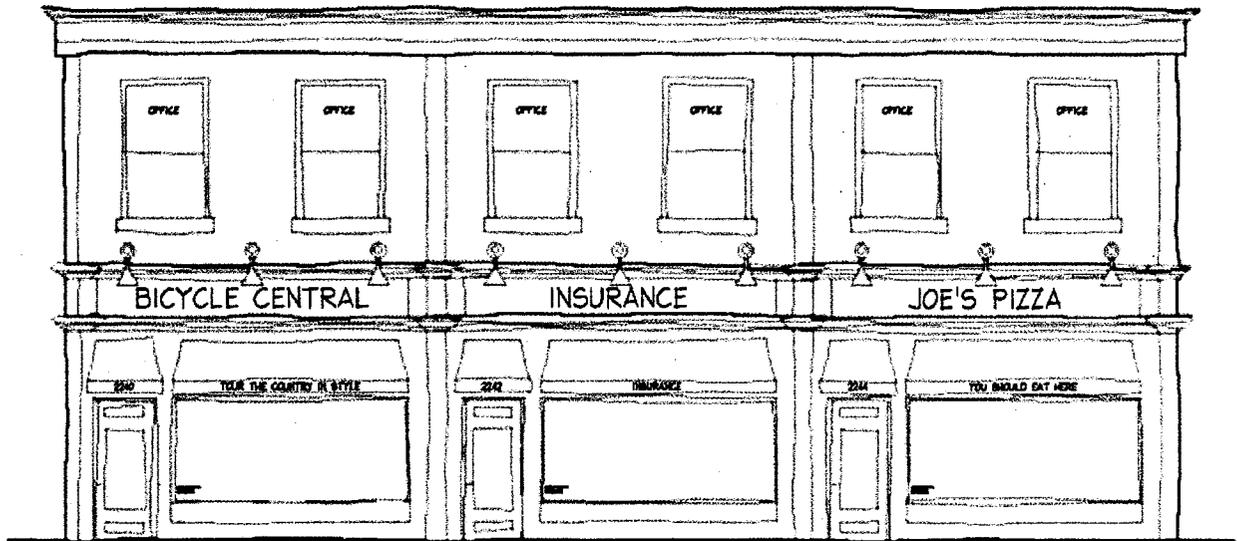


City of Corning

Commercial Districts Design Guidelines



October 2007

CITY OF CORNING COMMERCIAL DISTRICTS DESIGN GUIDELINES

Purpose

These guidelines describe the City's design and development expectations for its commercial corridors. They offer designers and developers flexibility in meeting the requirements of Corning's land use regulations, while designing high quality new buildings and landscapes. The guidelines are tools which:

- Give the community a chance to plan for development versus reacting to development pressure
- Encourage more sensitive design while recognizing market and site realities
- Help developers visualize how their projects can work toward the city's goals
- Coordinate projects so that they help each other succeed
- Respond to retail franchises and chains
- Protect and enhance Corning's unique character
- Provide guidance and flexibility to municipal boards

Boundaries

These guidelines apply within the following boundary:

- Both sides of Denison Parkway from State Street to Conhocton Street, extending to the rear boundary lines of all properties that front Denison Parkway, and also the following:
 - South of Denison Parkway, the boundary extends to First Street between Walnut Street and Pine Street, and between Chemung Street and Conhocton Street.
 - North of Denison Parkway the boundary extends to the south side of Tioga Avenue midway between Cedar Street and Wall Street, at the east side of the city-owned parking lot on Tioga Avenue. The boundary runs east along Tioga Avenue to Chemung Street and then back south to East Market Street. The boundary continues east along East Market Street to Conhocton Street, bisecting the block between Pearl Street and Columbia Street where East Market Street is interrupted. At Conhocton Street, it continues east to include the properties with frontage on the east side of Conhocton Street between East Market Street and First Street.
- Both sides of Tioga Avenue from Centerway (Cedar Street) to Chemung on the south side of the street.
- Both sides of Pulteney Street from Wallace Street to Baker Street.
- Both sides of Bridge Street from Denison Parkway to Pulteney Street.

A boundary map is included at the end of these guidelines.

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Scope

These guidelines apply to the following properties and development actions:

- All newly constructed buildings, including multi-family buildings of more than four units
- All conversions from residential to commercial
- Any substantial rehabilitation of existing structures, including additions or landscapes, where the cost of improvements, as verified by the Planning and Zoning Commission, exceeds 50% of the assessed value
- Improvements to existing properties where the cost of improvements is less than 50% of assessed value must comply with the applicable guidelines related to the specific improvement. For example, all new or reconstructed parking areas and any façade facing the targeted corridors must be in compliance with the guidelines even if the cost of improvements does not exceed the threshold for whole property compliance.

The guidelines do not apply to existing residential structures of four or fewer units or existing industrial uses. Any building, parking area or sign that lawfully exists as of October 1, 2007 which would not otherwise be permitted under these guidelines may be continued as legal non-conforming in the same manner as existed before the effective date of the guidelines.

Administration

Administration of these guidelines is the responsibility of the City of Corning Planning and Zoning Commission, which may be assisted by the Code Enforcement Officers, as needed. As part of these guidelines, the Planning and Zoning Commission is granted authority to retain, at the developer's and/or the owner's expense, design professionals and other consultants to assist with project review and to ensure effective implementation of these guidelines.

Authority

These guidelines help to achieve goals identified in the City's 2002 Master Plan. That plan identifies the Denison Parkway corridor as the City's highest value location for necessary community retail and services.

These guidelines work in concert with the City's land use and zoning regulations; they build on the underlying zoning by establishing additional standards. These guidelines and the regulations of the underlying zoning district apply to all development.

Should a conflict or discrepancy arise between these guidelines and city zoning regulations or other adopted city ordinance, the most restrictive standard will apply. Resolution of conflicts will be determined by the Planning and Zoning Commission with the assistance of the Code Enforcement Officers, as needed.

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Corridor Vision

Denison Avenue, Pulteney Street and Tioga Avenue are integral parts of the wider community of Corning, forming transition zones between historic Market Street commercial district and the nearby residential neighborhoods. The guidelines will help developers to respond to local development patterns through the use of consistent scale, image, functionality and integration to the surrounding areas, including historic areas on the Southside Hill and Market Street, but they do not recommend that new development replicate historic architecture or design character. Rather, new buildings should function as examples of good contemporary design, with projects planned and built to be long-term, high-quality additions to the community.

These guidelines seek to create lively mixed-use corridors, where people will both live and work. The corridors will provide Corning residents with essentials. Shoppers and workers arriving by car will find parking readily accessible, and an attractive and safe walk to a number of destinations, not just one. The guidelines seek to improve the quality of life and property values in the adjoining residential neighborhoods. The guidelines will:

- Preserve and enhance local character
- Create an attractive and lively streetscape
- Promote safety, walkability, and multi-modal transportation use.
- Protect residential properties and neighborhoods from impacts of development

Site Design Guidelines

1 THE SITE IN CONTEXT

1.1 *Protect adjoining residential properties.*

A. *Screening:*

1. Provide landscaping and/or ornamental wood, vinyl or aluminum fencing, or masonry walls to screen views to and from existing residences. Chain link fencing, with or without slats, is not allowed.
2. Provide trees that mature to 30 feet or more between taller commercial or multi-unit residential structures and adjoining residences or neighborhoods.
3. Use grade changes and landscaping in new residential developments to buffer residential interiors visually and acoustically.

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4. Overspill of light and glare of more 0.2 horizontal and vertical foot candles at any site boundary adjoining a residential property is to be avoided. Proposed projects should provide a photometric diagram which shows the extent of the site and all proposed exterior lighting fixtures. Foot candles level should be calculated and shown on a 10 feet by 10 feet (maximum) horizontal grid to 15 feet beyond the property line, and on a similar grid set vertically along each property line



Figure 1: Use grade changes and landscaping in new residential developments to buffer residential interiors visually and acoustically.

B. Noise:

1. Locate noise-producing activities such as trash compaction, dumpster location, drive-up windows, vehicle idling areas, etc, away from residential properties. Sound-dampening or sound-absorbing equipment or devices must be used to the extent possible.

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C. *Windows:*

1. Limit size and extent of windows on upper floors of new buildings that directly overlook private areas of neighboring residences.
2. Avoid placing windows so that they directly face into windows on neighboring residences.

D. *Scale:*

1. Locate the tallest and bulkiest portions of new buildings on the commercial street frontage, away from adjoining residences.



Figure 2: Locate the tallest and bulkiest portions of new buildings on the commercial street frontage, away from adjoining residences.

E. *Appearance:*

1. Step down building height and use design details and landscaping on sides of buildings adjacent to residential neighborhoods to create a more residential character and scale.

1.2 *Preserving and enhancing local character.*

A. *Existing buildings:*

1. Preserve and reuse existing buildings that make a special and positive contribution to the character of the community. Encourage adaptive reuse of buildings that may be eligible for listing on the State or National Register of Historic Places.

B. *New buildings:*

1. Respond to and harmonize with the proportions, details and style of nearby buildings including windows, and reflect the individual character and history of Corning.

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C. *Views:*

1. Preserve or create view corridors to surrounding hills whenever possible.

D. *Landscaping:*

1. Protect and preserve mature trees wherever possible.
2. Decrease runoff and heat island effect by using lawns and landscaping instead of impervious pavements wherever possible.
3. Provide shade trees in parking lots and along pedestrian routes to reduce heat and glare.
4. Street trees must be species tolerant of urban conditions. Refer to Cornell University's Urban Horticulture Institute's "Recommended Urban Trees" species, planting and maintenance guidelines. Consider the selection of species that will enhance the streetscape. Access information at: <http://www.hort.cornell.edu/uhi/outreach/recurbtree>.
5. Provide a well-chosen variety of native and locally adapted plants to soften, enliven, and bring a refreshing connection to nature into the urban setting, using the resources described above.
4. Provide landscaping to screen utility areas and to protect adjoining residences, as discussed in 1.1 A. above.
6. Consider safety and visibility when placing plants. Shade trees, with open views under the canopy, in combination with perennials, groundcovers, and shrubs kept below 3' in height are generally preferred to large shrubs.
7. Planting islands in parking lots must be a minimum of 10 feet in width.
8. Shade trees must be a minimum of 2-1/2" in caliper when planted.
9. Plant beds must provide a minimum depth of 6" of high-quality planting soil for annuals and groundcovers, and 12" for perennials and shrubs.

1.3 *Promote safety, walkability and multi-modal transportation.*

A. *Signage:*

1. Provide a clearly readable and well-organized system of signage to identify commercial properties, direct drivers to parking, orient pedestrians to building entrances, and draw attention to pedestrian and bicycle crossings.

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2. Provide clearly readable street numbers, minimum 4" in height and coordinated in appearance, above or immediately to the side of all public entrances on buildings.
3. Coordinate the size and placement of signage for different tenants within one building.
4. Provide a consistent, appropriate and prominent area for signage at entrances and storefronts.
5. Style, colors and materials used on signage must complement the style, colors and materials of the building itself.

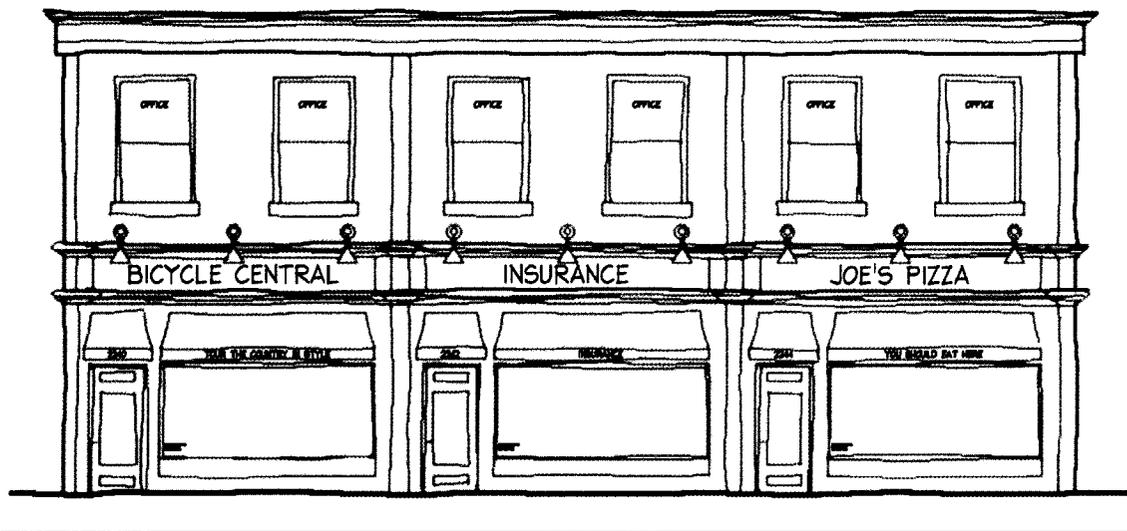


Figure 3: Size and placement of signage for different tenants within one building must be coordinated and consistent.

6. Signs made of wood and metal are preferred.
7. External sign lighting must be no brighter than needed to read the sign, and must not spill over onto other areas. Bulbs must not be visible from the street.
8. Internally lit signs and roof signs are not allowed.
9. Signs that move, change, pulsate or flash are not allowed.
10. Painted or decal signs on first-floor windows may not cover more than one-third of the window area.

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11. Neon or comparable LED signs are allowed inside first-floor windows only.
12. Signs identifying second story commercial tenants are allowed, but must be limited to a small area of lettering on window surface that does not exceed 10% of the window area.

B. *Lighting:*

1. Lighting fixtures must complement the style of the building and the streetscape.
2. Lighting must be adequate for safety, without glare and overspill. Overspill of light and glare of more than 1 foot candle measured at side and rear property lines, and of more than 2 foot candles measured at the curblin on site boundaries that abut a public right of way, are to be avoided. Recommended illuminance level guidelines and uniformity ratios established by the Illumination Engineering Society of North America (IESNA) in the most current IESNA Recommended Practice or Design Guide should be incorporated for lighting designs.
3. Maintain pedestrian scale heights (14 feet or less) on light poles wherever possible.
4. Use a greater number of lower intensity lights to achieve coverage, rather than fewer, brighter lights mounted on high poles.

C. *Safe crossings:*

1. Highlight points of potential conflict between vehicles, pedestrians and bicyclists with signs, changes in texture or color, pavement materials, etc. This includes cross streets, alleys and driveways.
2. Maintain visibility and clear sightlines from vehicles to pedestrian and bicycle crossing areas.

D. *Pedestrian network:*

1. Cooperate with adjoining properties in creating a pedestrian network, with mid-block connections, public courtyards and small plazas.
2. Provide sheltered, readily overseen waiting areas at transportation stops, and attractive pedestrian routes between them and building entrances.

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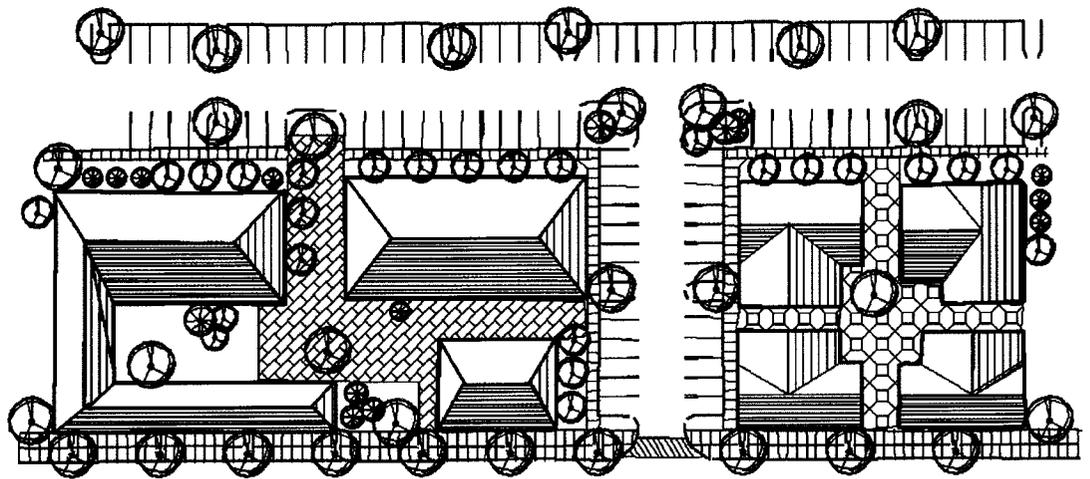


Figure 4: Cooperate with adjoining properties in creating a pedestrian network, with mid-block connections, public courtyards and small plazas.

BUILDING LOCATION AND ORIENTATION

2.1 *Create an attractive and lively streetscape.*

A. *Building setbacks:*

1. Place buildings at the front of the site, parallel to the street, to maintain a consistent setback and create a traditional street and sidewalk frontage. Some variation may be allowed for the creation of a wider, landscaped sidewalk, outdoor café space, or an entry courtyard.
2. Buildings on corner lots must continue the established setback along both street frontages.
3. Off-street parking is not allowed in front of buildings; a park-like setting should be created in front of buildings to the extent possible.
4. The addition of landscaping and/or a low wall to restore the street setback line where existing buildings are set further back on the lot is required.

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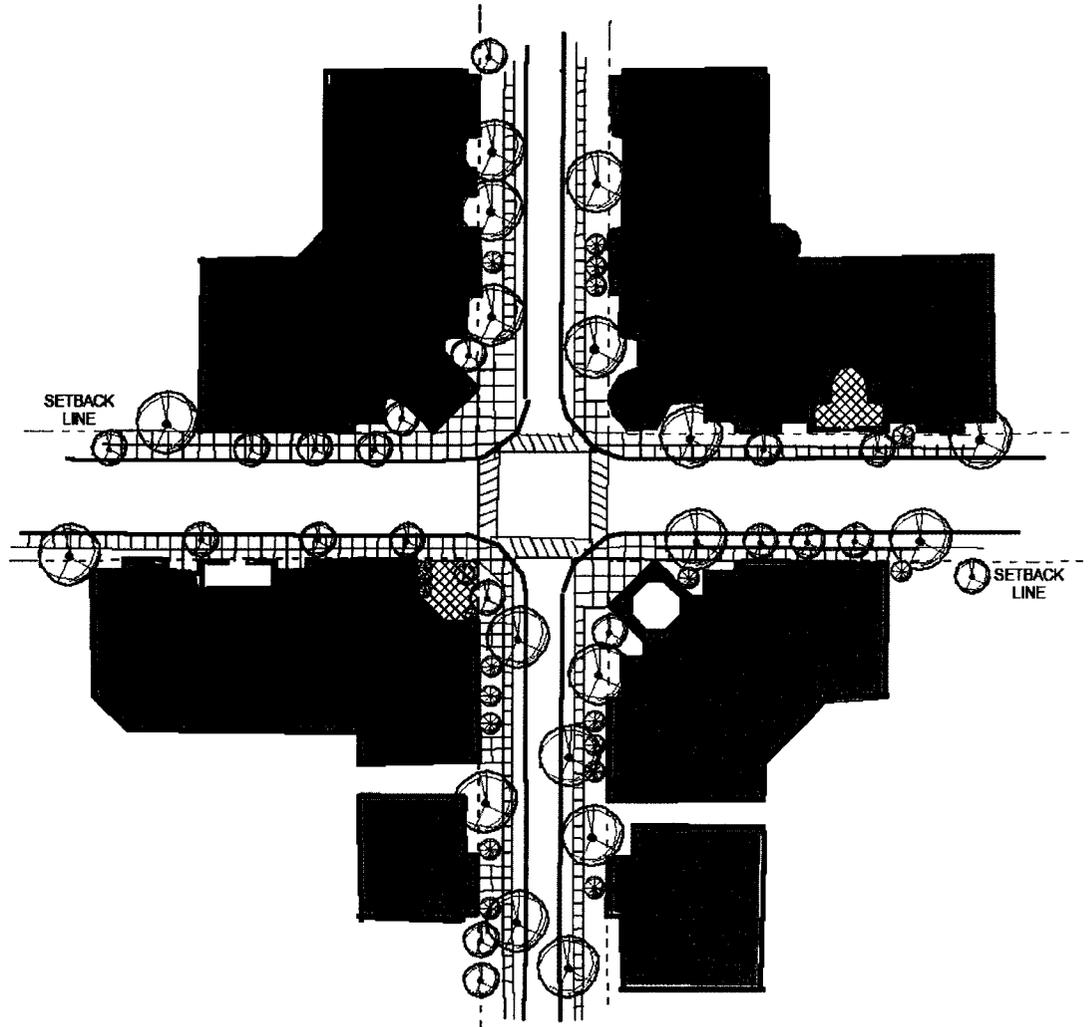


Figure 5: Place buildings at the front of the site, parallel to the street, to maintain a consistent setback. Some variation may be allowed for the creation of a wider, landscaped sidewalk, outdoor café space, or an entry courtyard.

B. Building entries:

1. Primary and secondary building and site entry points must be easily recognizable from parking areas and from the street.
2. Service areas must be unobtrusive, screened, and placed to the rear or side of the site.
3. Encourage the creation of shared service areas, whenever possible.

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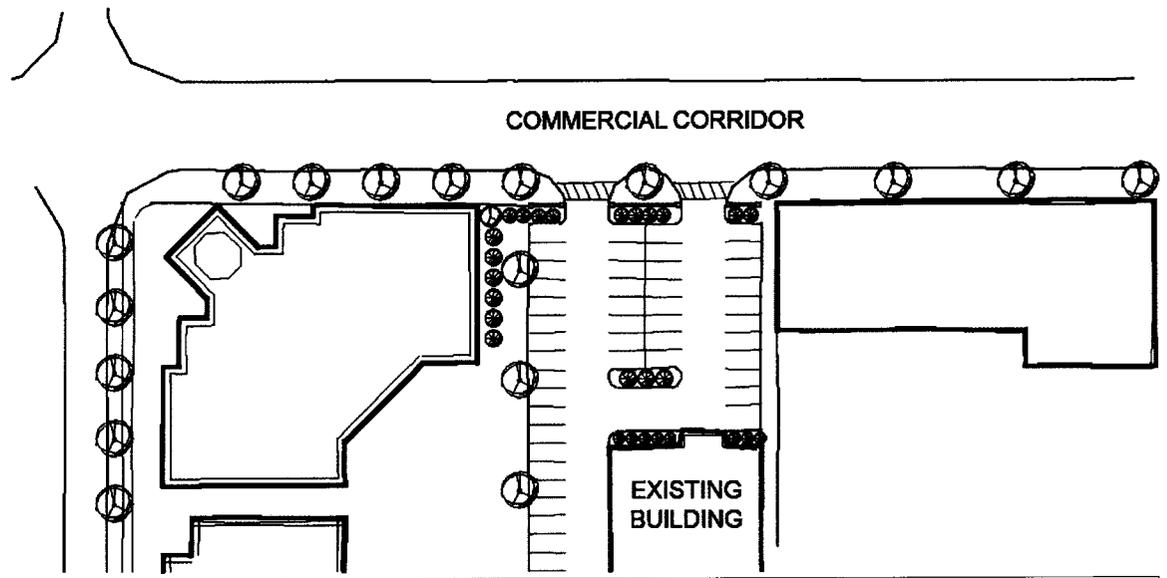


Figure 6: The addition of landscaping and/or a low wall to restore the street setback line where existing buildings are set further back on the lot is encouraged.

C. *Drive-up windows:*

1. Locate and design drive up windows to minimize impacts on adjoining residences.
2. Incorporate an architectural canopy and/or screening that is visually linked to the building.
3. Allow adequate length for stacking automobiles so that on or off-site circulation is not impeded.

D. *Existing shopping plazas:*

1. Where possible, existing buildings set back from the street with parking in front will be improved by providing landscaping or screen walls around the parking and planting islands within the parking lot.

E. *Service Stations:*

1. Service stations must comply with the design guidelines for buildings, and must meet setback requirements for the commercial corridor.

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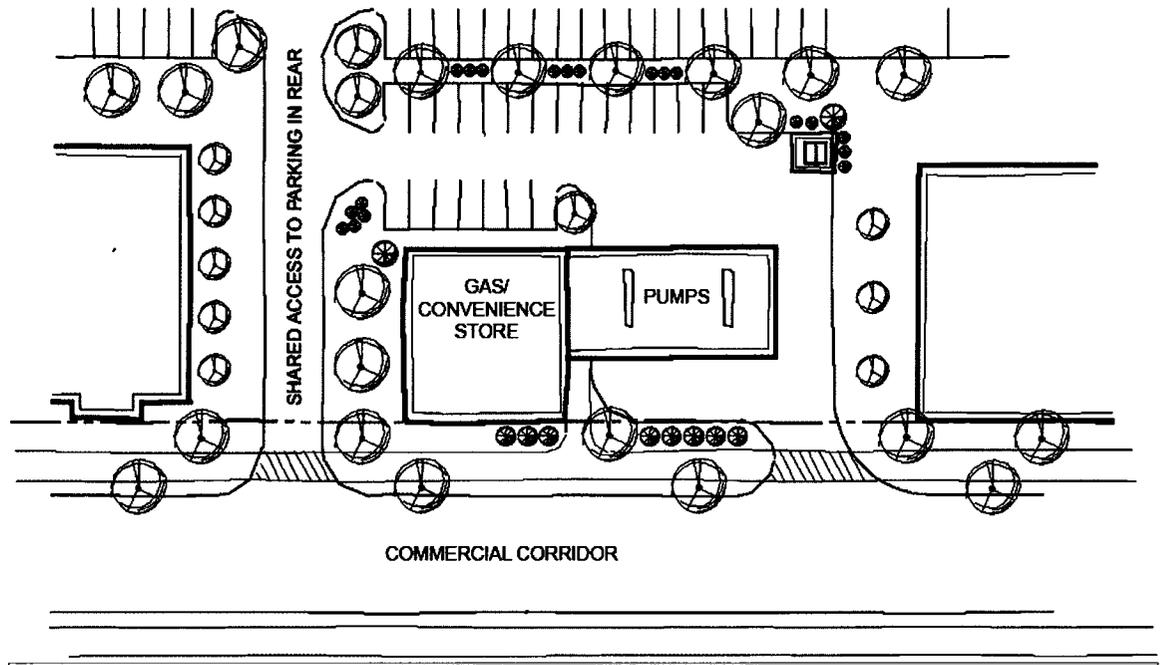


Figure 7: Service station prototype design.

2. Pumps, canopies and parking must be placed at the rear or side of lots.
3. Canopies must comply with the design guidelines for buildings, and be consistent in style and materials with the main building, and where possible, physically tied to it.
4. Lighting under canopies, pavilions, or drive-through bays must be shielded, and should not exceed 30 foot candles measured horizontally, on the ground plane. All luminaries must be mounted on or recessed into the lower surface of canopies. Fixtures must be fully shielded and utilize flat glass or plastic covers.
5. Canopy height, as measured from the finished grade to the lowest point on the canopy fascia, should not exceed 14'-7". The clearance height of canopies should be clearly indicated on the structure or through use of a headache bar.

3 ACCESS AND CIRCULATION

3.1 *Create an attractive and lively streetscape.*

A. *Sidewalks:*

1. Sidewalks must be provided for the full length of all public street frontages on a property.

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2. Provide safety, weather protection, and interest to pedestrians through:
 - a. Attractive pavements
 - b. Street trees and landscaping
 - c. Street furnishings such as benches, trash receptacles, planters, clocks, and art
3. Protect pedestrians from vehicle traffic at the street edge by using regularly spaced street trees, bollards, landscaping, etc.
4. Sidewalks and access must meet Americans with Disabilities Act standards as described at www.usdoj.gov/ert/ada.

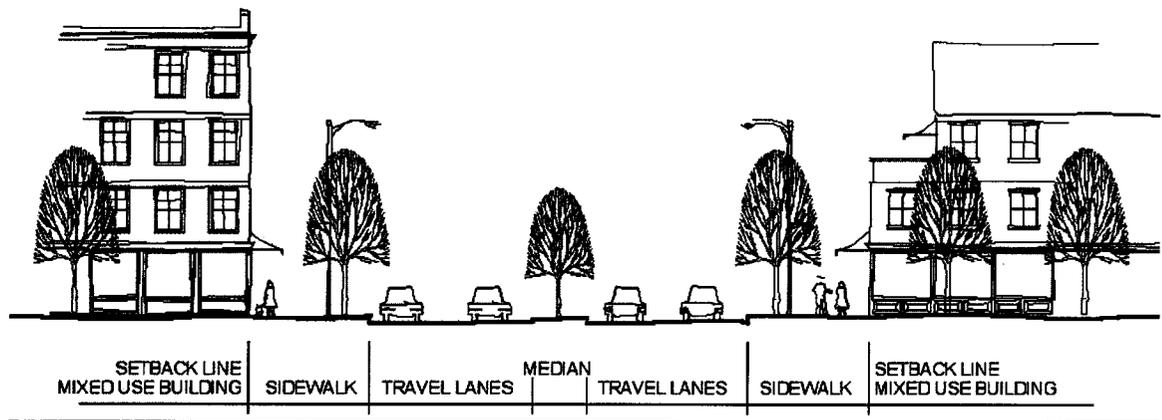


Figure 8: Typical section across commercial corridor.

B. Driveways

1. Minimize curb cuts, width of driveways, and share entrances to minimize conflicts with bicyclists and pedestrians. Shared entrances are required whenever possible.
2. Drive connections between nearby parking areas are required whenever possible in order to reduce the number of curb cuts onto the public street and facilitate shared parking use.
3. Keep pavement areas to the minimum required. Encourage this by minimizing vehicle conflict points resulting in multiple driveways.
4. Obtain access from side streets rather than arterials, when possible, to maintain mobility and minimize conflict points.

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C. *Parking*

1. Locate parking at the side or behind the building. Parking between the main building and the primary street is not allowed.
2. Large expanses of parking must be broken up by planted islands and curbed pedestrian walkways.

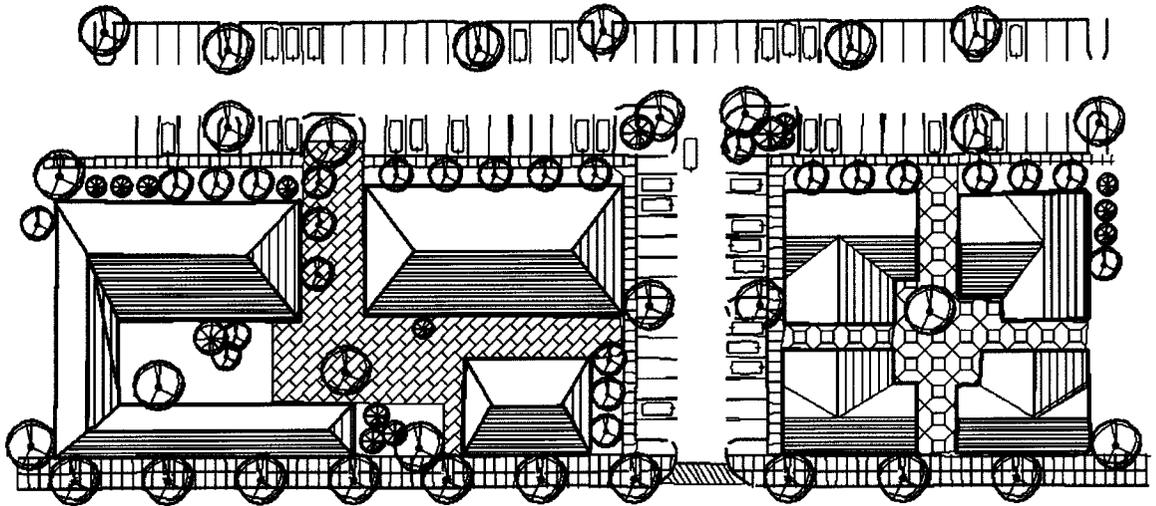


Figure 9: Locate parking at the side or behind the building. Parking between the main building and the primary street is not allowed.

3. Parking areas must meet Americans with Disabilities Act standards as described at www.usdoj.gov/ert/ada
4. Parking garages that front the commercial corridor must have commercial space on the first floor along street frontages or a comparable design that creates a lively and appealing streetscape.

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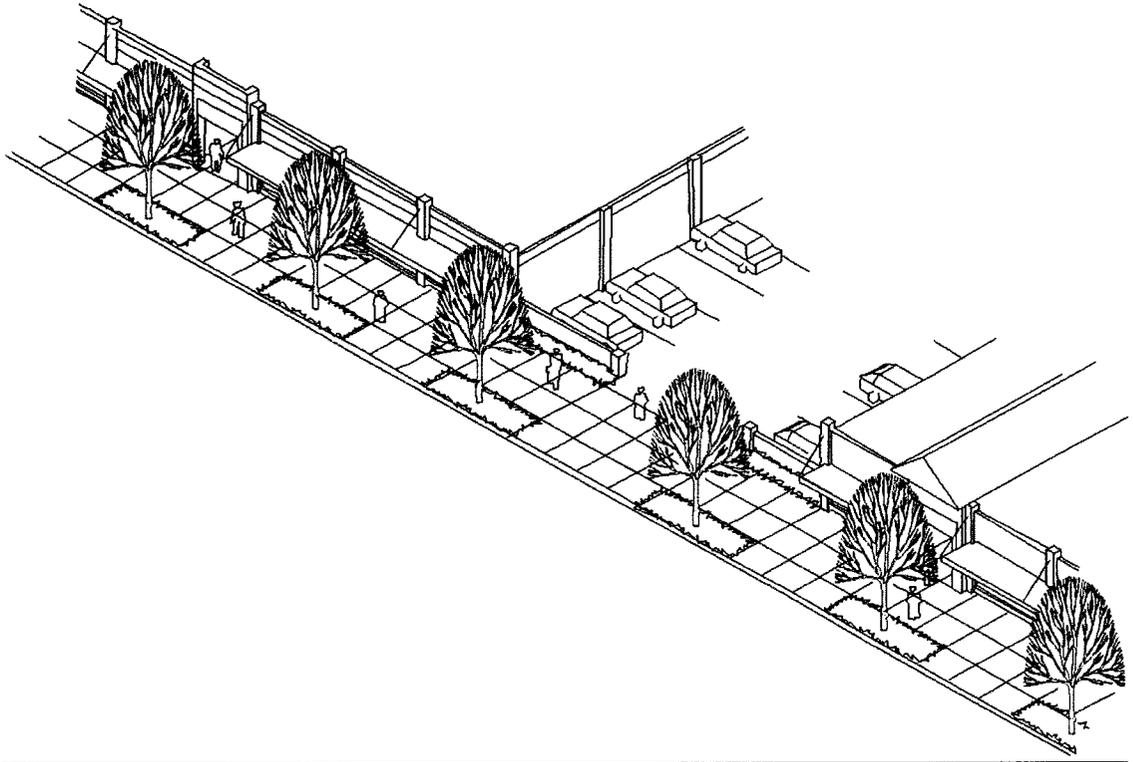


Figure 10: Parking lots must be screened with 36" to 42" high walls, solid fences, and/or landscaping and street trees.

D. *Utilities*

1. Electrical, telephone, cable and other utilities must be placed underground whenever possible.

4 BUILDING DESIGN

4.1 *Create an attractive and lively streetscape.*

A. *Building scale and massing:*

1. Keep the main mass and tallest portion of the building at the front, or at the corner on a corner site.
2. Shield less public areas and utility areas such as storage, receiving, etc. from view on all sides.
3. Emphasize pedestrian scale, especially at ground level and adjacent to pedestrian areas such as the sidewalk or public plazas.

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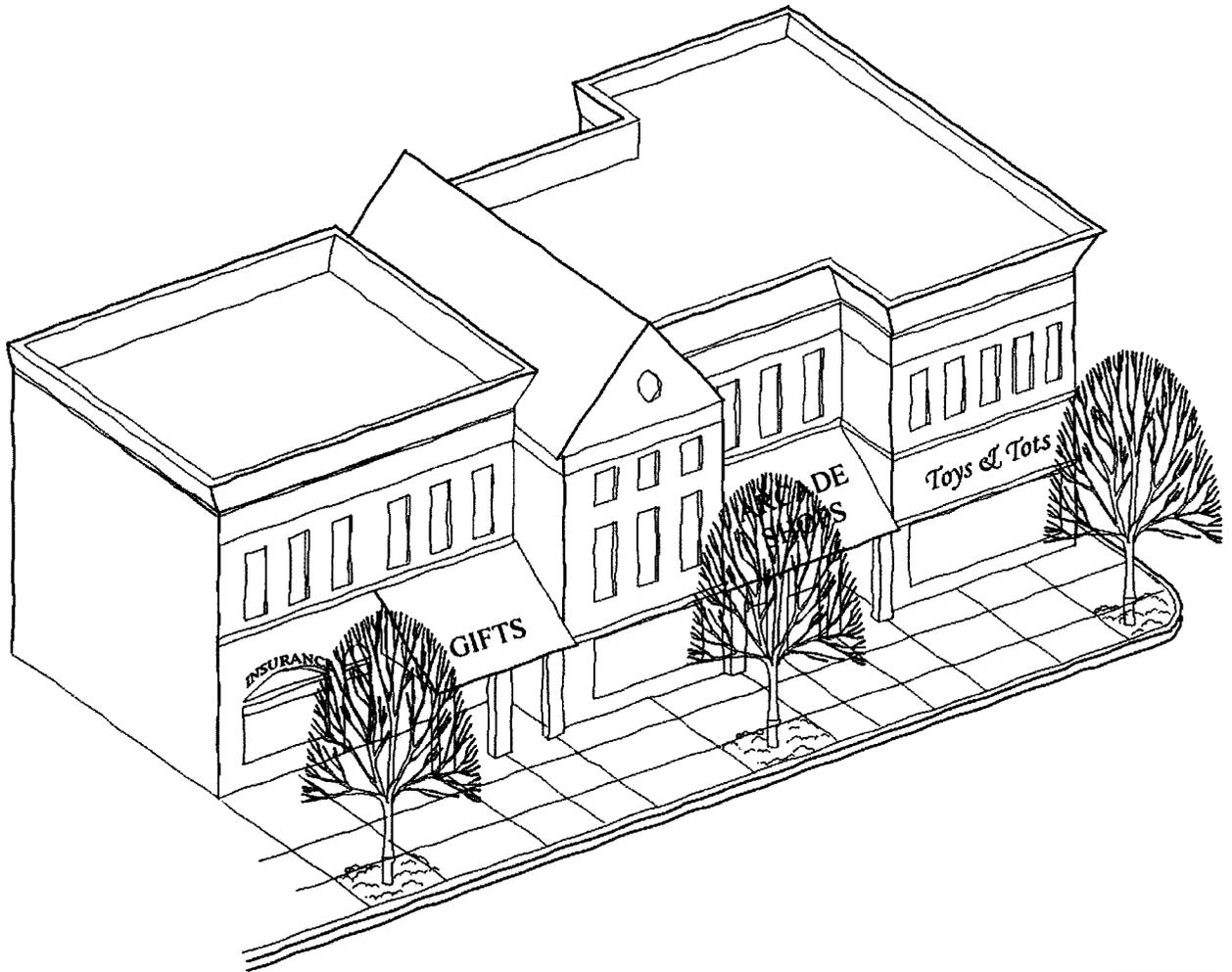


Figure 11: Break up large facades. Vary the plane of the building.

4. Break up large facades by subdividing them into smaller visual units through the use of design elements. Vary the plane of the building.
5. The style, proportions and use of materials and colors must be consistent to preserve an impression of the building as one harmonious whole.
6. Emphasize main entries with a change in roofline, additional projecting features, design accents, porches, canopies, etc.
7. All sides of a building should express consistent architectural detail and character.

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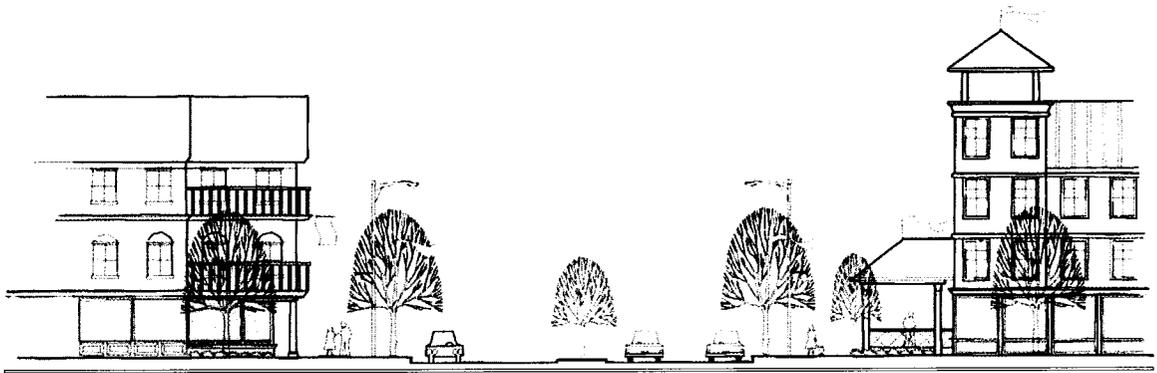


Figure 12: Provide special design treatments at gateway locations.

8. Provide special design treatments, massing, and scale which reinforce the importance of sites that have an especially influential effect on the visual character of a corridor (see map):
 - a. At corner lots, especially on major intersections. (See Figure 5)
 - b. At gateway locations, where the corridor begins or ends.



Figure 13: Use appropriate size and proportions of such elements as columns, so the building appears stable and balanced. Keep the proportions of design elements such as windows, building bays, and columns consistent.

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B. *Building façade design:*

1. Keep proportions of design elements such as windows, building bays, and columns consistent.
2. Vary the plane of the façade with recesses, openings, and columns to create depth and interest.
3. Buildings that derive their image solely from applied treatments that express corporate identity are not permitted.
4. Visually differentiate the base, middle and top of the building.



Figure 14: Visually differentiate the base, middle and top of the building.

5. Use appropriately sized and proportioned windows, door openings, lintels, columns, and roof parapets, so that the building appears stable and balanced.
6. Long, unbroken horizontal expanses of either glass or wall are not allowed. Vertical or 'portrait' rectangular shapes are preferred to horizontal or 'landscape' rectangular shapes.
7. Pedestrian sheltering elements such as porches, traditional canopies and awnings with free-hanging valances are encouraged. Crown, umbrella, bubbled or domed awnings are not allowed.

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C. *Windows:*

1. On the first floor, window openings must be large enough to make the building appear transparent, open and inviting. No less than 70% of the ground floor façade should be clear glass on each side of the building that adjoins a public right of way. Upper floors and ground floor building facades which do not adjoin a public right of way may have a smaller proportion of window opening to solid wall, but no less than 15%.

D. *Roof Design:*

1. Keep the roof mass proportional to the rest of the building.
2. Ornamental walls or balustrade parapet design is preferred for flat roofs.
3. Sloped roofs with dormers or gables are preferred to mansard or shed roofs.
4. Design roofs to direct runoff from snow and rain away from pedestrians.
5. Roof-mounted equipment must not be visible from the street in any direction.
6. Vary the roofline to emphasize important areas of the building such as primary and secondary entries.

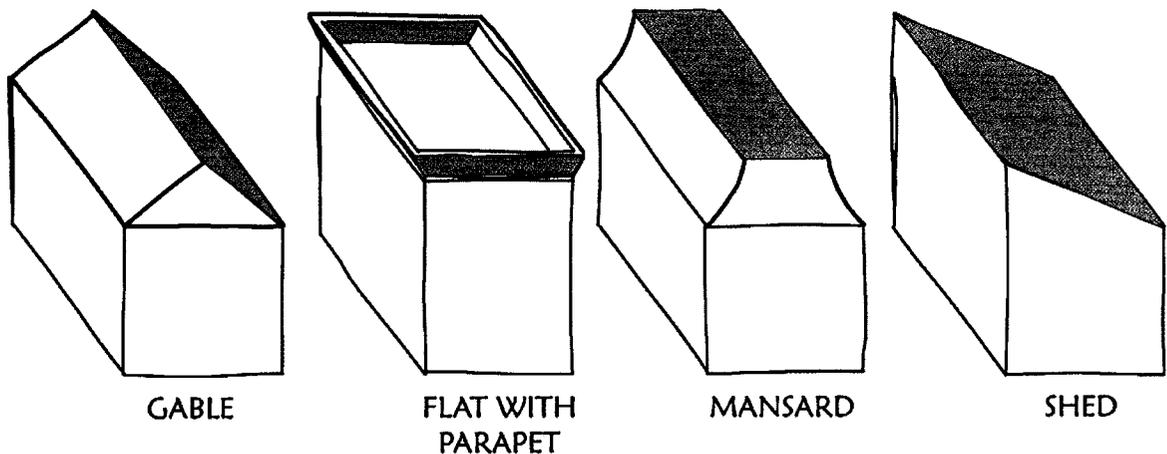


Figure 15: Sloped roofs with dormers and gables are preferred to mansard or shed roofs.

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E. *Materials and Finishes:*

1. Smaller, human scale and natural materials are preferred. Natural materials are wood, stone, terra cotta, glass and metal. High quality imitation materials such as cultured stone or decorative pavers are allowed as long as they appear natural. The use of highly reflective or glossy materials should be used sparingly.
2. Vary materials for interest, but within a harmonious and limited number of different materials.
3. Create a hierarchy of materials and colors, using a primary material and color, and subordinate complementary or accent materials and colors.
4. Muted and traditional colors are generally preferred, with contrasting textures and tones used to add interest. Building colors should emphasize earth tones and colors common to traditional/natural building materials.
5. Strong color may be used sparingly as an accent.
6. The use of materials and textures that are associated with the region (brick, iron, glass) are encouraged to define the project identity as part of Corning.

These guidelines were prepared by
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